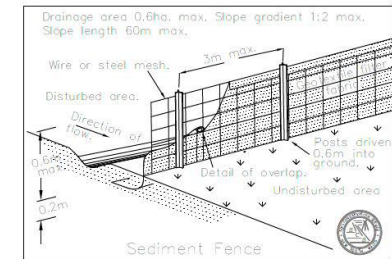
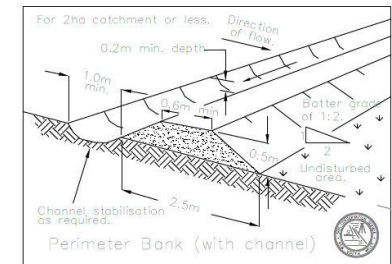
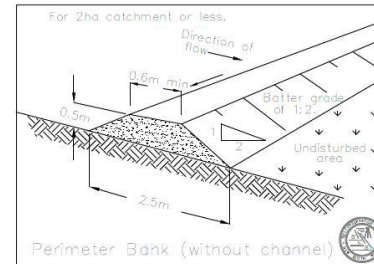
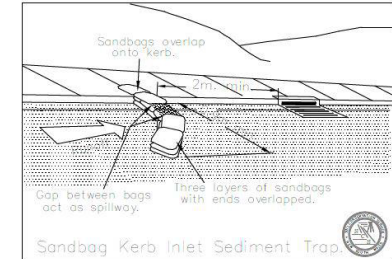
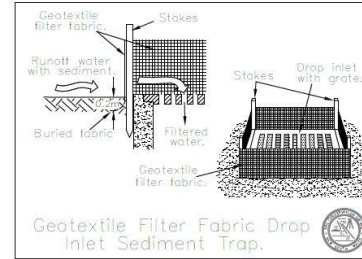
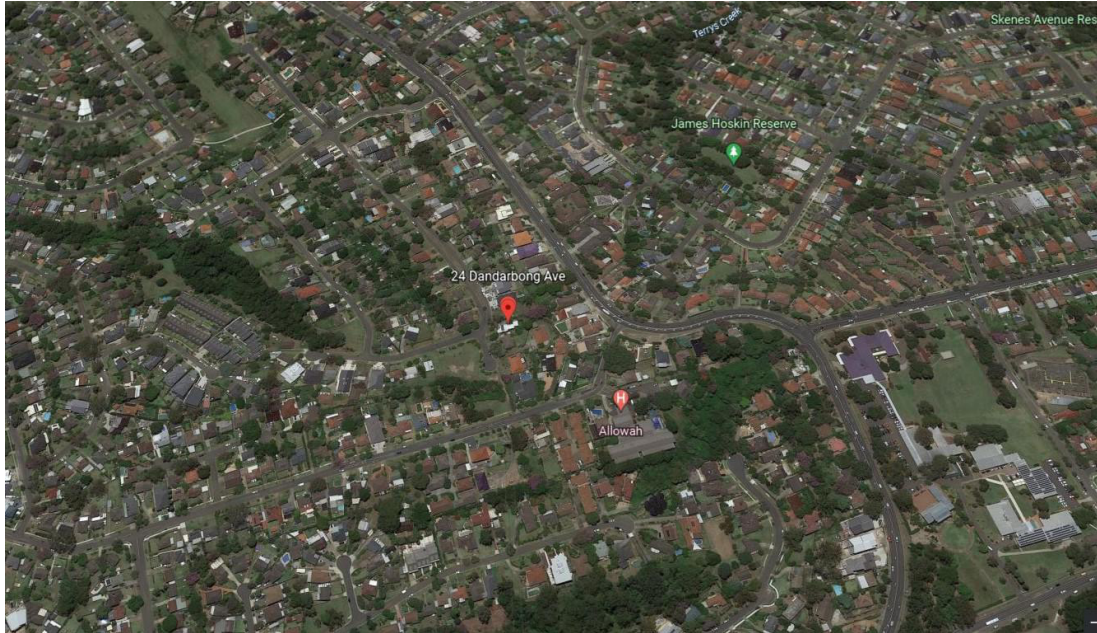


24 DANDARBONG Ave , CARLINGFORD



CONSTRUCTION SEQUENCE:
 1. PROVIDE SOIL EROSION SEDIMENT CONTROL MEASURES SUCH INCLUDING REVEGETATION AND STORAGE OF SOIL AND TOPSOIL AND SILT FENCING AND STRAW BALES SHALL BE IMPLEMENTED TO THE STANDARDS OF THE SOIL CONSERVATION OF NSW.
 2. PROVIDE SHAKER PAD AND ENSURE SITE ACCESS IS LIMITED TO ONE LOCATION. ENSURE ALL VEHICLE MOVEMENTS IN AND OUT OF THE SITE PASS OVER THE SHAKER PADS.
 3. UNDERTAKE BULK EARTHWORKS ENSURING THAT ALL SEDIMENT CONTROL MEASURES ARE REGULARLY MAINTAINED AND IN GOOD WORKING ORDER.

NCC-BCA '19:
 CLASS 1a (SINGLE DWELLING) CL A3.2 BCA
 CLASS 10a (CAR SPACE) CL A3.2 BCA
 CLASS 10b CL A3.2 BCA
 (A STRUCTURE BEING A FENCE, MAST, ANTENNA, RETAINING OR FREE-STANDING WALL, SWIMMING POOL, OR THE LIKE)
 FIRE-RESISTANT CONSTRUCTION Table 4 BCA
 TYPE 'C' CONSTRUCTION Table C.1.1 BCA

GENERAL BUILDING NOTES:
 1. ALL WORK SHALL BE CARRIED OUT BY THE BUILDER IN ACCORDANCE WITH THE REQUIREMENTS OF NCC-BCA 2016 AND OTHER RELEVANT REGULATIONS OF THE LOCAL COUNCIL AND OTHER CONTROLLING AUTHORITIES WITH CERTIFICATES AND APPROVALS THE BUILDERS RESPONSIBILITY TO BE OBTAINED AND ISSUED TO THE OWNER.
 2. ALL WORK SHALL COMPLY WITH NCC/BCA 2019 & THE RELEVANT AUSTRALIAN STANDARDS WHERE APPROPRIATE (Following is not limited to I.E.: Timber Code AS1684 & AS1720.1, Concrete AS3600, Brickwork AS3700, Vehicle Trafficable AS2690.1, Flooring AS1680, Windows / External Doors AS1288 / AS2688 / AS1909, Waterproofing AS4654.2 & AS3740, Electrical AS3000, Smoke Alarms AS3786, Plumbing & Drainage AS3500, Internal Linings AS2588 & AS2908.2, External Linings AS2908.2, Balustrade NCC/BCA Section 3.9.1, Roof Covering AS4100.1 & AS4100.2, Termite Control AS3660.1, Slip Resistance AS4586, Painting AS2311). ALSO REFER TO NCC/BCA VOLUME 1 SPECIFICATION A1.3 "DOCUMENTS ADOPTED BY REFERENCE" AND NCC/BCA VOLUME 2 PART 1.4 "DOCUMENTS ADOPTED BY REFERENCE".
 3. FOR ALL STRUCTURAL ELEMENTS INCLUDING STEEL OR REINFORCED COLUMNS, FLOOR SLABS, STAIRS RETAINING WALLS, TANKING / WATERPROOFING WALLS AND ROOF FRAMING REFER TO ENGAGED STRUCTURAL ENGINEERS DRAWINGS AND DETAILS WHERE A QUALIFIED JUDGMENT ON DESIGN OUTCOME FOR SIGN OFF WILL OCCUR PRIOR TO CONSTRUCTION IS COMMENCED.
 4. BUILDING SETOUT AND BOUNDARY CLEARANCES TO BE VERIFIED BY A REGISTERED SURVEYOR BEFORE CONSTRUCTION BEGINS AND ANY DISCREPANCIES REFERRED TO THE OWNER / BUILDER.
 5. ALL CONSTRUCTION WORK TO BE CARRIED OUT TO COMPLY WITH THE REQUIREMENTS OF AUTHORITIES HAVING JURISDICTION OVER THE WORKS, INCLUDING THE CONDITIONS OF APPROVAL ISSUED FOR THE PROJECT BY THE LOCAL COUNCIL AND WATER AUTHORITY.
 6. FIGURED DIMENSIONS TO BE TAKEN IN PREFERENCE TO SCALING FROM DRAWINGS. WITH ALL CONSULTANTS DETAILS TO TAKE PRECEDENCE OVER ARCHITECTURAL LAYOUT AND LEVELS.
 7. ANY DISCREPANCIES OR CONTRADICTIONS ON THE DRAWINGS OR WITH THE SPECIFICATION SHALL BE REFERRED TO THE OWNER FOR CLARIFICATION BEFORE CONSTRUCTION.
 8. BUILDER TO CHECK AND VERIFY LEVELS SO TO ENSURE THAT ALL LEVELS ARE BASED ON AUSTRALIAN HEIGHT DATUM SURVEYED BY A REGISTERED SURVEYOR PRIOR TO ANY CONSTRUCTION.
 9. WHERE REQUIRED ALL HYDRAULIC SYSTEMS INCLUDING ANY WATER TANK, DOWNPIPES AND ALL STORMWATER DESIGN, SITE RETENTION SYSTEM AND STORMWATER OVERFLOW CONNECTION AND DRAINAGE LEVELS AND THE LIKE ARE TO BE INSTALLED IN ACCORDANCE WITH NCC/BCA '19, AUSTRALIAN STANDARDS ALSO ANY COUNCIL OR LOCAL AUTHORITY REQUIREMENTS / CONDITIONS WITH A SPECIALIZED HYDRAULIC ENGINEER OR LICENCE PLUMBER TO BE ENGAGED BY THE BUILDER TO CERTIFY DESIGN PRIOR TO CONSTRUCTION IS COMMENCED.
 10. ALL TOILETS AND CHANGE ROOMS OR ANY ENCLOSED ROOM IS TO BE MECHANICALLY VENTILATED IF NATURAL VENTILATION IS NOT AVAILABLE.
 11. DEMOLITION AND REMOVAL FROM THE SITE EXISTING TREES, ANCILLARY AND STRUCTURAL PARAMETERS AS INDICATED ON ARCHITECTURAL PLAN TO BE REMOVED BY BUILDER, IN ACCORDANCE WITH AS2601-2001: "THE DEMOLITION OF STRUCTURES", WHERE ASBESTOS REMOVAL IS REQUIRED, THE BUILDER WILL PROVIDE WRITTEN CERTIFICATION THE SITE IS ASBESTOS FREE FROM A QUALIFIED ASBESTOS SPECIALIST CONTRACTOR PRIOR TO ANY NEW CONSTRUCTION WORKS IS TO BE COMMENCED.
 12. ARCHITECTURAL DRAWINGS ARE OUTLINING THE PROJECT PRINCIPAL REQUIREMENTS AND ARE NOT FOR CONSTRUCTION WITH ANY DESIGN AND CONSTRUCT TO BE THE BUILDERS RESPONSIBILITY AND WHOLLY THE BUILDERS MATTER SO TO OBTAIN LICENCE CERTIFICATES AND APPROVALS WITH A HIGH QUALITY OF WORKMANSHIP TO ANY ACTING AUTHORITY AND/OR OWNERS SATISFACTION.

Drawing Shedule	
COVER PAGE	SHEET NO 1
DIMENSION PLAN	SHEET NO 2
SITE PLAN	SHEET NO 3
LG FLOOR PLAN	SHEET NO 4
GL FLOOR PLAN	SHEET NO 5
L1 FLOOR PLAN	SHEET NO 6
L2 FLOOR PLAN	SHEET NO 7
NORTH & SHOUTH VIEWS	SHEET NO 8
EAST & WEST VIEWS	SHEET NO 9
SECTIONS	SHEET NO 10
JUNE SHADOW DIAGRAM	SHEET NO 11
SEPTEMBER SHADOW DIAGRAM	SHEET NO 12
DECEMBER SHADOW DIAGRAM	SHEET NO 13
SCHEDULE SHEET	SHEET NO 14

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Revision schedule		
Revision number	Revision Description	Revision date

NOTES:
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Project Address: 24 Dandarborg Ave, Carlingford
 Project name: 24 Dandarborg Duplex Project
 Client Name: Hatef Ahankooob

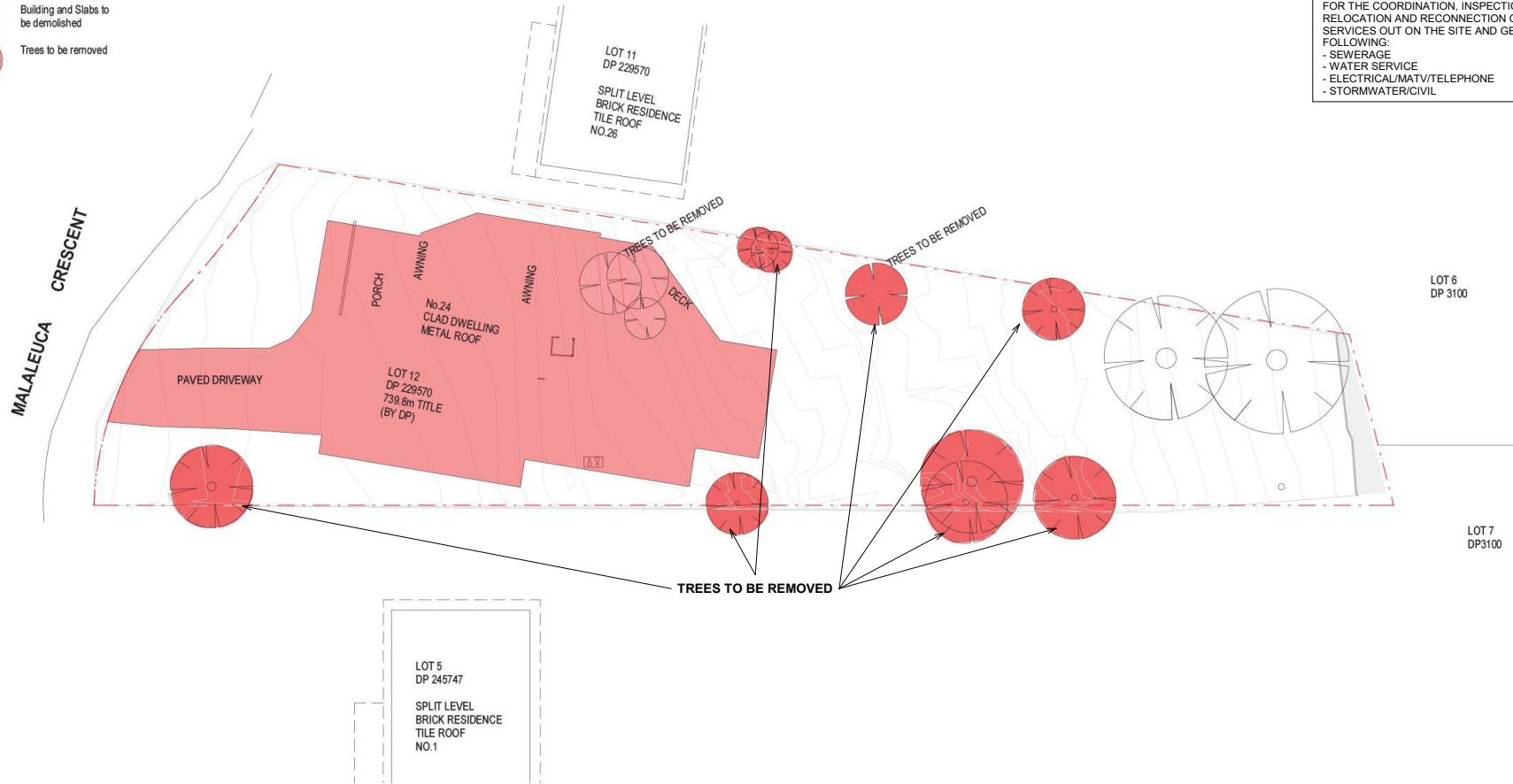
Sheet name: COVER PAGE
 Project Status: For CDC

Drawn by: Mostafa Shams Esfandabadi
 Checked by: Mirko Ghorayshi
 Issue date: 04/17/22
 scale:



DEMOLITION NOTE:
 ANY DEMOLITION AND REMOVAL FROM THE SITE AS INDICATED OF THE EXISTING RESIDENCE (INCLUDING REMOVAL AND DISCONNECTION OF ALL SERVICES), TO BE REMOVED BY BUILDER, IN ACCORDANCE WITH AS2601-2001: "THE DEMOLITION OF STRUCTURES". WHERE ASBESTOS REMOVAL IS REQUIRED, THE BUILDER WILL PROVIDE WRITTEN CERTIFICATION THE SITE IS ASBESTOS FREE FROM A QUALIFIED ASBESTOS SPECIALIST CONTRACTOR PRIOR TO ANY NEW CONSTRUCTION WORKS IS TO BE COMMENCED.
 THE BUILDER AND/OR SUBCONTRACTOR ARE TO UNDERTAKE ALL REASONABLE PRECAUTIONS TO DETERMINE THE LOCATION OF EXISTING SERVICES AND SAFEGUARD THEM BEFORE ANY APPLICABLE TRENCHING, RE-LEVELLING, ROAD MAKING, DEMOLITION, OR SIMILAR OPERATIONS ARE COMMENCED OUT ON SITES OF EXISTING
 THE BUILDER AND/OR SUBCONTRACTOR WILL BE RESPONSIBLE FOR THE COORDINATION, INSPECTION, VERIFICATION, RELOCATION AND RECONNECTION OF ALL THE EXISTING SERVICES OUT ON THE SITE AND GENERALLY INCLUDING THE FOLLOWINGS:
 - SEWERAGE
 - WATER SERVICE
 - ELECTRICAL/MATV/TELEPHONE
 - STORMWATER/CIVIL

-  Building and Slabs to be demolished
-  Trees to be removed



DEMOLITION PLAN

1 : 150


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Revision schedule		
Revision number	Revision Description	Revision date

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Project Address: 24 Dandabong Ave, Carlingford
 Project name: 24 Dandabong Duplex Project
 Client Name: Hatef Ahankoob

Sheet name: DEMOLITION PLAN
 Project Status: For CDC

Drawn by:	Mostafa Shams Esfandabadi
Checked by:	Mirko Ghorayehi
Issue date:	04/19/22
scale:	1 : 150



SITE PLAN NOTES:

- NOTES:**
1. ALL SITINGWORKS AND EXTERNAL SURROUNDS INDICATED ARE ILLUSTRATIVE ONLY WITH ALL TO BE VERIFIED IF REQUIRED WITH A SURVEY BY A REGISTERED SURVEYOR PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION
 2. TEMPORARY SECURITY FENCING WHERE REQUIRED TO PREVENT PUBLIC ACCESS ONTO SITE.
 3. PRIOR TO ANY DEMOLITION, EXCAVATION OR CONSTRUCTION ON THE SITE, THE RELEVANT AUTHORITY SHOULD BE CONTACTED FOR POSSIBLE LOCATION OR FURTHER UNDERGROUND SERVICES AND DETAILED LOCATION OF ALL SERVICES. DEMOLITION BY BUILDER IN ACCORDANCE WITH AS2601-2001: "THE DEMOLITION OF STRUCTURES". ESSENTIAL FIRST STEP IS CARRY OUT DIAL BEFORE YOU DIG PROCEDURE VISIT www.1100.com.au WITH IT BEING THE BUILDERS RESPONSIBILITY AND ANY DAMAGE TO BE FIXED AT THE BUILDERS EXPENSE.
 5. RELATIONSHIP OF IMPROVEMENTS TO BOUNDARIES IS DIAGRAMMATIC ONLY. WHERE OFFSETS ARE CRITICAL THEY SHOULD BE CONFIRMED BY FURTHER SURVEY IF REQUIRED.
 7. THIS SITE PLAN IS NOT A "SURVEY" AS DEFINED BY THE SURVEYING AND SPATIAL INFORMATION ACT, 2002.
 8. CRITICAL SPOT LEVELS SHOULD BE CONFIRMED WITH A REGISTERED SURVEYOR.
 9. THIS PLAN IS ONLY TO BE USED FOR THE PURPOSE OF ILLUSTRATING INTENT OF NEW WORKS.
 10. EXCEPT WHERE SHOWN BY DIMENSION LOCATION OF DETAIL WITH RESPECT TO BOUNDARIES IS INDICATIVE ONLY.
 11. DO NOT SCALE OFF THIS PLAN / FIGURED DIMENSIONS TO BE TAKEN IN PREFERENCE TO SCALED READINGS.

DEMOLITION NOTE:

ANY DEMOLITION AND REMOVAL FROM THE SITE AS INDICATED OF THE EXISTING RESIDENCE (INCLUDING REMOVAL AND DISCONNECTION OF ALL SERVICES), TO BE REMOVED BY BUILDER, IN ACCORDANCE WITH AS2601-2001: "THE DEMOLITION OF STRUCTURES". WHERE ASBESTOS REMOVAL IS REQUIRED, THE BUILDER WILL PROVIDE WRITTEN CERTIFICATION THE SITE IS ASBESTOS FREE FROM A QUALIFIED ASBESTOS SPECIALIST CONTRACTOR PRIOR TO ANY NEW CONSTRUCTION WORKS IS TO BE COMMENCED.

THE BUILDER AND/OR SUBCONTRACTOR ARE TO UNDERTAKE ALL REASONABLE PRECAUTIONS TO DETERMINE THE LOCATION OF EXISTING SERVICES AND SAFEGUARD THEM BEFORE ANY APPLICABLE TRENCHING, RE-LEVELLING, ROAD MAKING, DEMOLITION, OR SIMILAR OPERATIONS ARE COMMENCED OUT ON SITE.

THE BUILDER AND/OR SUBCONTRACTOR WILL BE RESPONSIBLE FOR THE COORDINATION, INSPECTION, VERIFICATION, RELOCATION AND RECONNECTION OF ALL THE EXISTING SERVICES OUT ON THE SITE AND GENERALLY INCLUDING THE FOLLOWING:

- SEWERAGE
- WATER SERVICE
- ELECTRICAL/MATV/TELEPHONE
- STORMWATER/CIVIL

LEGEND

- > DENOTES DIRECTION ROOF SLOPE IN REGARDS TO RAINWATER RUN OFF ALONG WITH NOMINATED ROOF PITCH
- DENOTES BUILDING OUTLINE
- DENOTES SITES EXISTING APPROXIMATE RELEVANT TREE LOCATION EXTENT (TO REMAIN)

WORD ABBREVIATION LEGEND

- RW - RETAINING WALL
- TRW - TOP OF RETAINING WALL
- FGL - FINISHED GROUND LEVEL
- FE - FENCING 1.2m (TYPE VARIES)
- DPE - DOOR WAY IN FENCING WITH NOMINATED DOOR SIZE
- NGL - NATURAL GROUND LEVEL
- COS - CONFIRM ON SITE

WARNING
OVERHEAD
ELECTRICITY LINES

WARNING
EXISTING SERVICES
UNDERGROUND

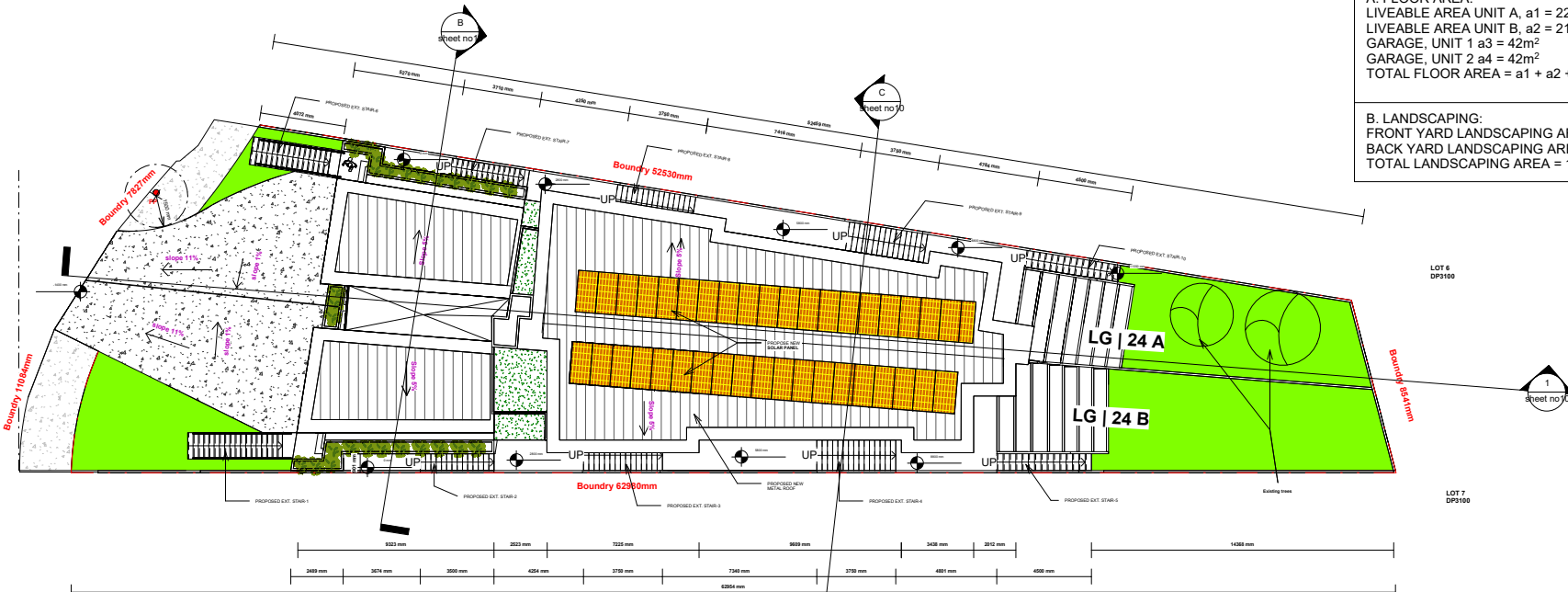
DIAL BEFORE YOU DIG
www.1100.com.au
ESSENTIAL FIRST STEP

AREA CALCULATION

TOTAL SITE AREA = 742m²
STREET FRONTAGE = 18.9m

A. FLOOR AREA:
LIVEABLE AREA UNIT A, a1 = 223m²
LIVEABLE AREA UNIT B, a2 = 219m²
GARAGE, UNIT 1 a3 = 42m²
GARAGE, UNIT 2 a4 = 42m²
TOTAL FLOOR AREA = a1 + a2 + a3 + a4 - 18 - 18 = 490m²

B. LANDSCAPING:
FRONT YARD LANDSCAPING AREA = 33m²
BACK YARD LANDSCAPING AREA = 164m²
TOTAL LANDSCAPING AREA = 197m²



Site
1 : 150

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Revision schedule		
Revision number	Revision Description	Revision date

NOTES:
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Project Address: 24 Dandarborg Ave, Carlingford
Project name: 24 Dandarborg Duplex Project
Client Name: Hatef Ahankoob

Sheet name: SITE AND ROOF PLAN
Project Status: For CDC

Drawn by: Mostafa Shams Esfandabadi
Checked by: Mirko Ghorayshi
Issue date: 04/17/22
scale: 1 : 150





01-LG floor plan
1 : 100

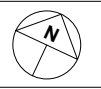
Revision schedule		
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Project Address: 24 Dandabong Ave, Carlingford
 Project name: 24 Dandabong Duplex Project
 Client Name: Hatef Ahankoob

Sheet name: LG Floor plan
 Project Status: For CDC

Drawn by:	Mostafa Shams Esfandabadi
Checked by:	Mirko Ghorayehi
Issue date:	04/17/22
scale:	1 : 100





02-GL floor plan
1 : 100



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Revision schedule		
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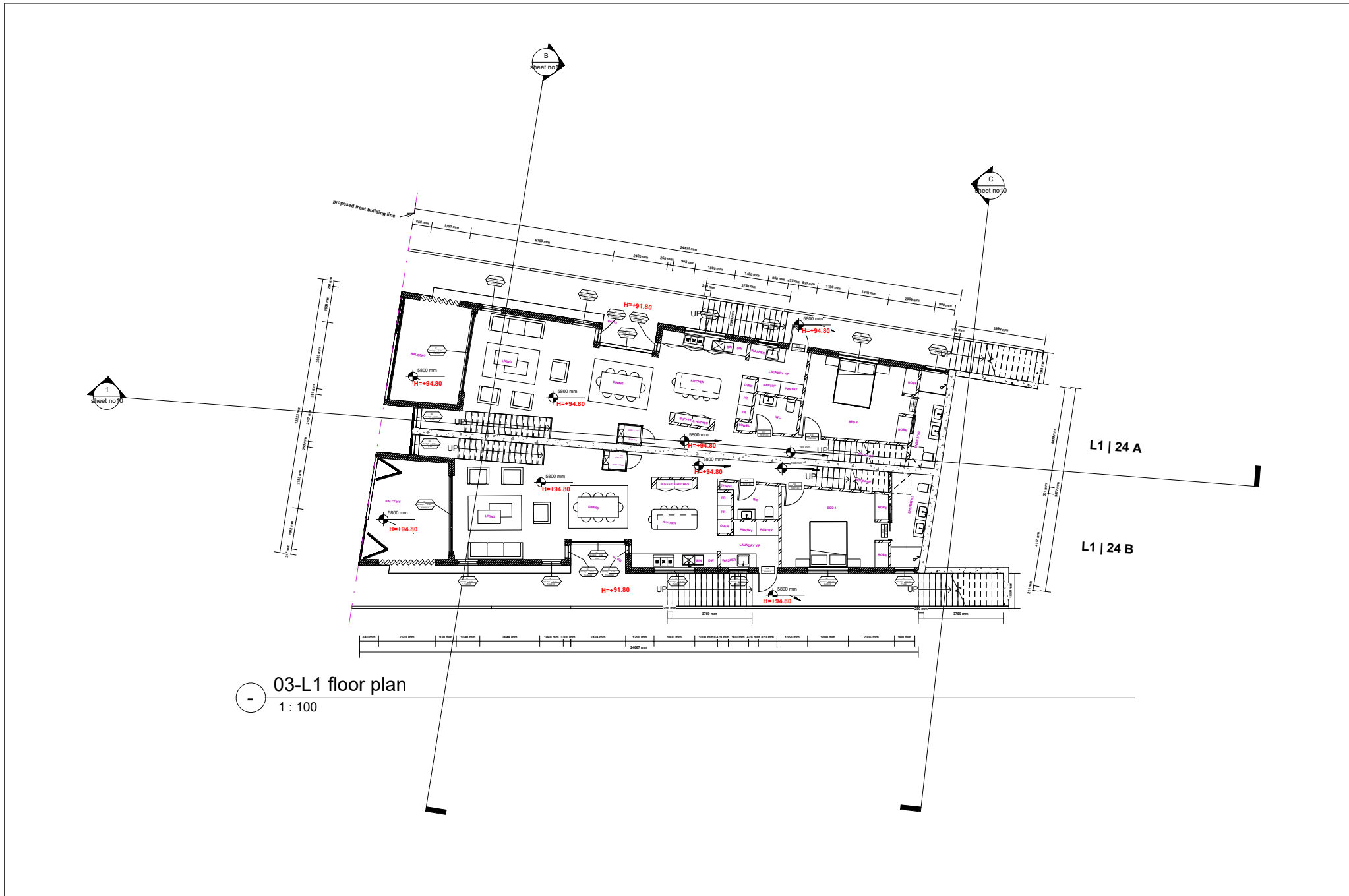
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Project Address: 24 Dandarborg Ave, Carlingford
Project name: 24 Dandarborg Duplex Project
Client Name: Hatef Ahankoob

Sheet name: GL Floor Plan
Project Status: For CDC

Drawn by:	Mostafa Shams Esfandabadi
Checked by:	Mirko Ghorayehi
Issue date:	04/18/22
scale:	1 : 100





03-L1 floor plan
1:100


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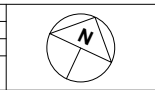
Revision schedule		
Revision number	Revision Description	Revision date

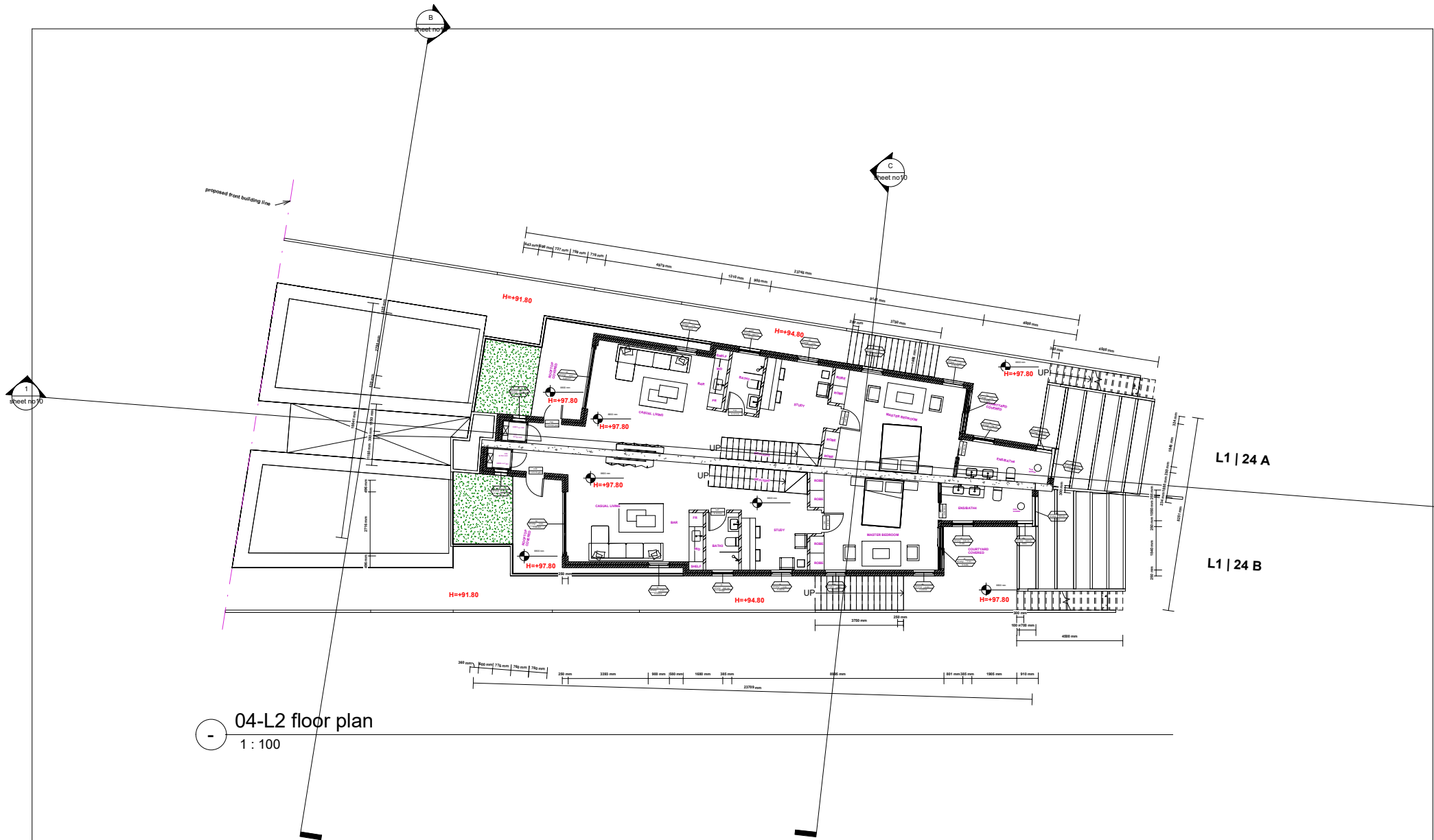
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Project Address: 24 Dandabong Ave, Carlingford
 Project name: 24 Dandabong Duplex Project
 Client Name: Hatef Ahankoob

Sheet name: L1 Floor Plan
 Project Status: For CDC

Drawn by: Mostafa Shams Esfandabadi
Checked by: Mirko Ghorayshi
Issue date: 04/18/22
scale: 1:100





04-L2 floor plan
1 : 100


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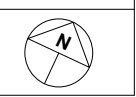
Revision schedule		
Revision number	Revision Description	Revision date

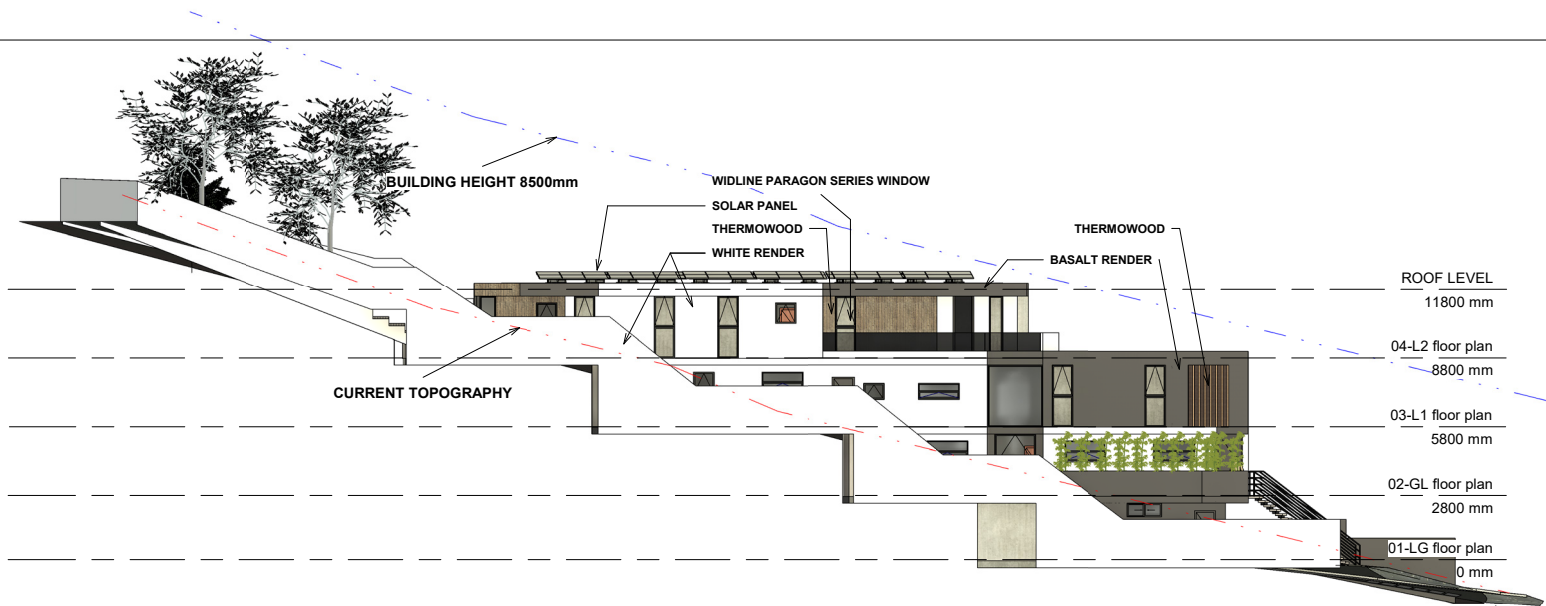
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Project Address: 24 Dandabong Ave, Carlingford
 Project name: 24 Dandabong Duplex Project
 Client Name: Hatef Ahankoob

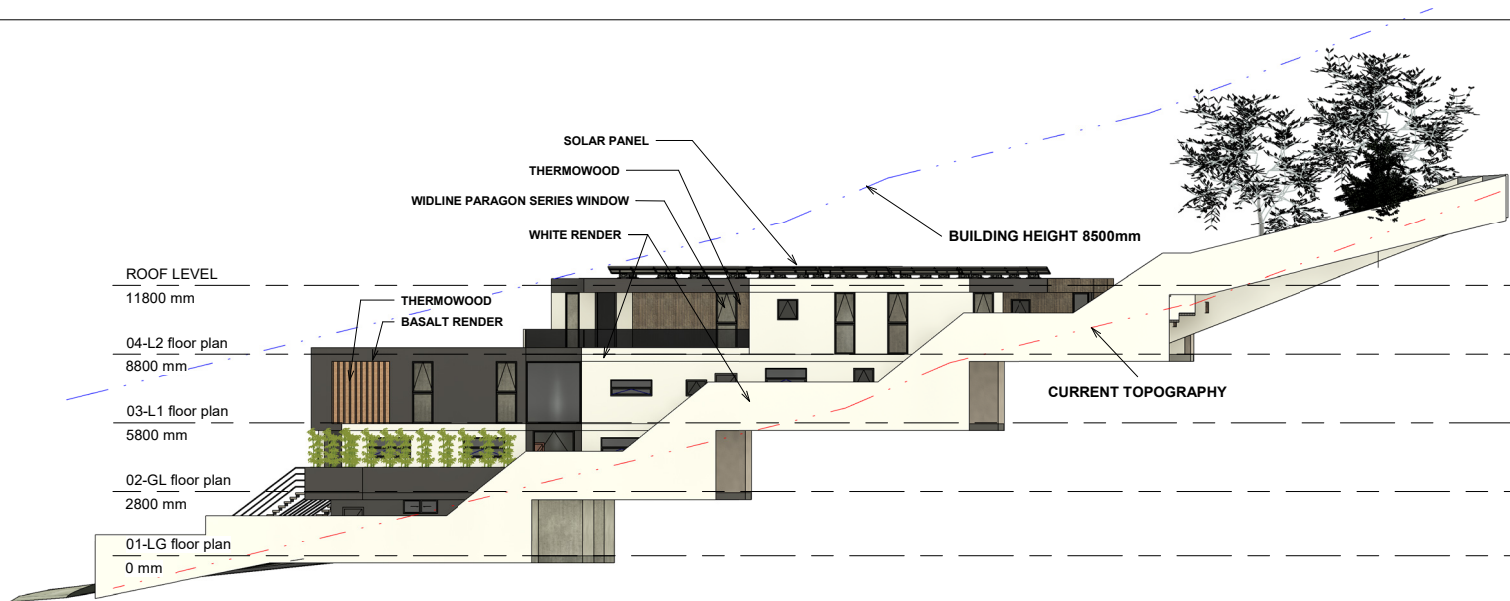
Sheet name: L2 Floor Plan
 Project Status: For CDC

Drawn by:	Mostafa Shams Esfandabadi
Checked by:	Mirko Ghorayehi
Issue date:	04/18/22
scale:	1 : 100





1 North
1 : 150



2 South
1 : 150

Revision schedule		
Revision number	Revision Description	Revision date

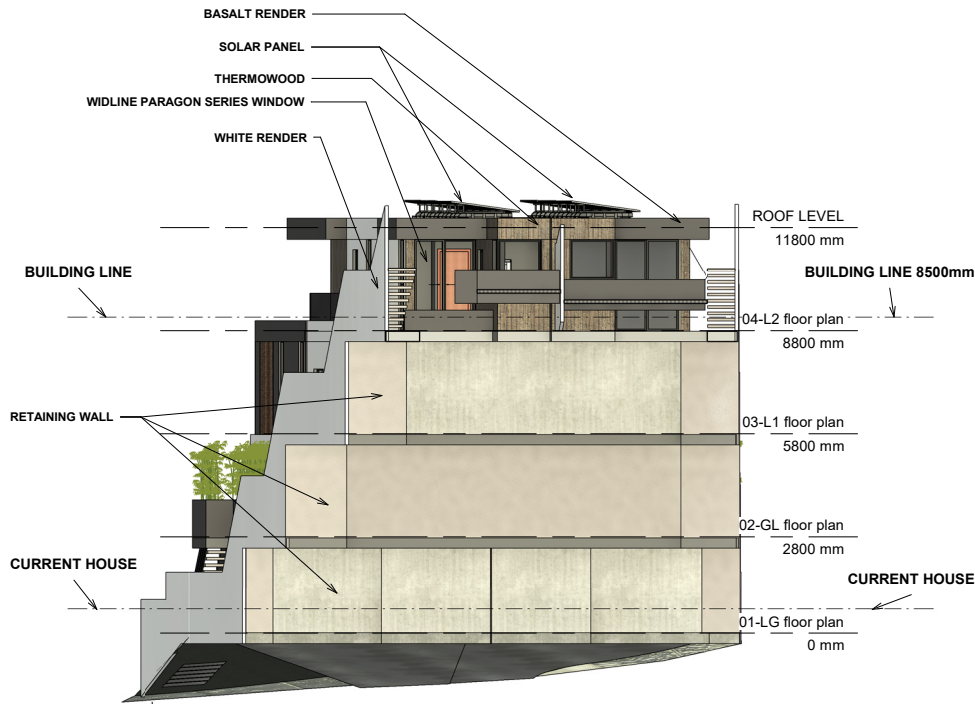
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Project Address: 24 Dandarborg Ave, Carlingford
 Project name: 24 Dandarborg Duplex Project
 Client Name: Hatef Ahankoob

Sheet name: North & South Elevation
 Project Status: For CDC

Drawn by:	Mostafa Shams Esfandabadi
Checked by:	Mirko Ghorayshi
Issue date:	04/17/22
scale:	1 : 150





① East
1 : 100



② West
1 : 100





1 SECTION A E-W2
1 : 150



B SECTION B N-S
1 : 100



C SECTION C N-S
1 : 100

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Revision schedule		
Revision number	Revision Description	Revision date

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Project Address: 24 Dandabong Ave, Carlingford
Project name: 24 Dandabong Duplex Project
Client Name: Hatef Ahankob

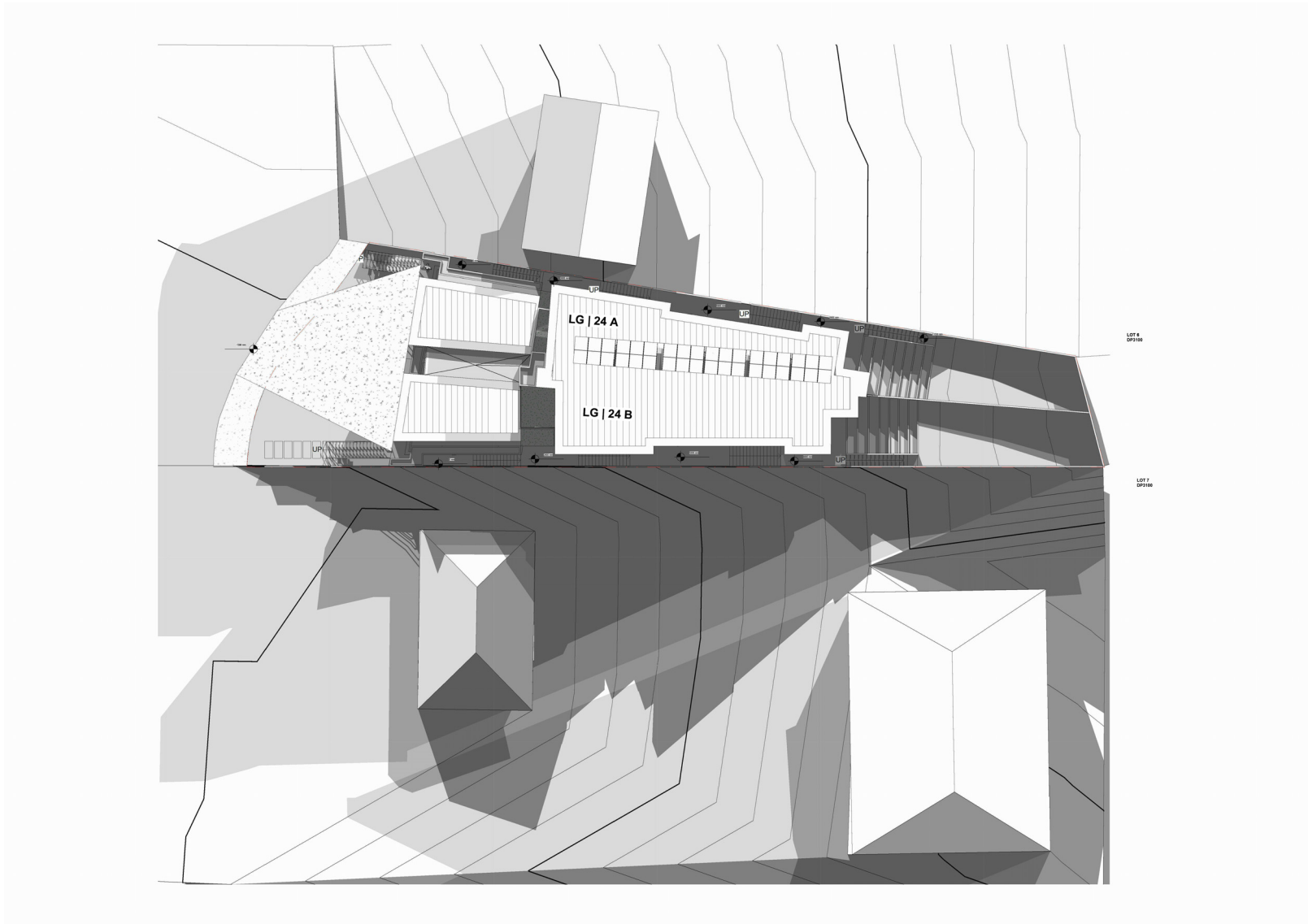
Sheet name: SECTIONS
Project Status: For CDC

Drawn by: Mostafa Shams Esfandabadi
Checked by: Mirko Ghorayshi
Issue date: 04/19/22
scale: As indicated



SHADOW 21 JUNE

- SHADOW AT 9:00 am
- SHADOW AT 12:00 NOON
- SHADOW AT 3:00 pm




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Revision schedule		
Revision number	Revision Description	Revision date

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Project Address: 24 Dandabong Ave, Carlingford
 Project name: 24 Dandabong Duplex Project
 Client Name: Hatef Ahankoub

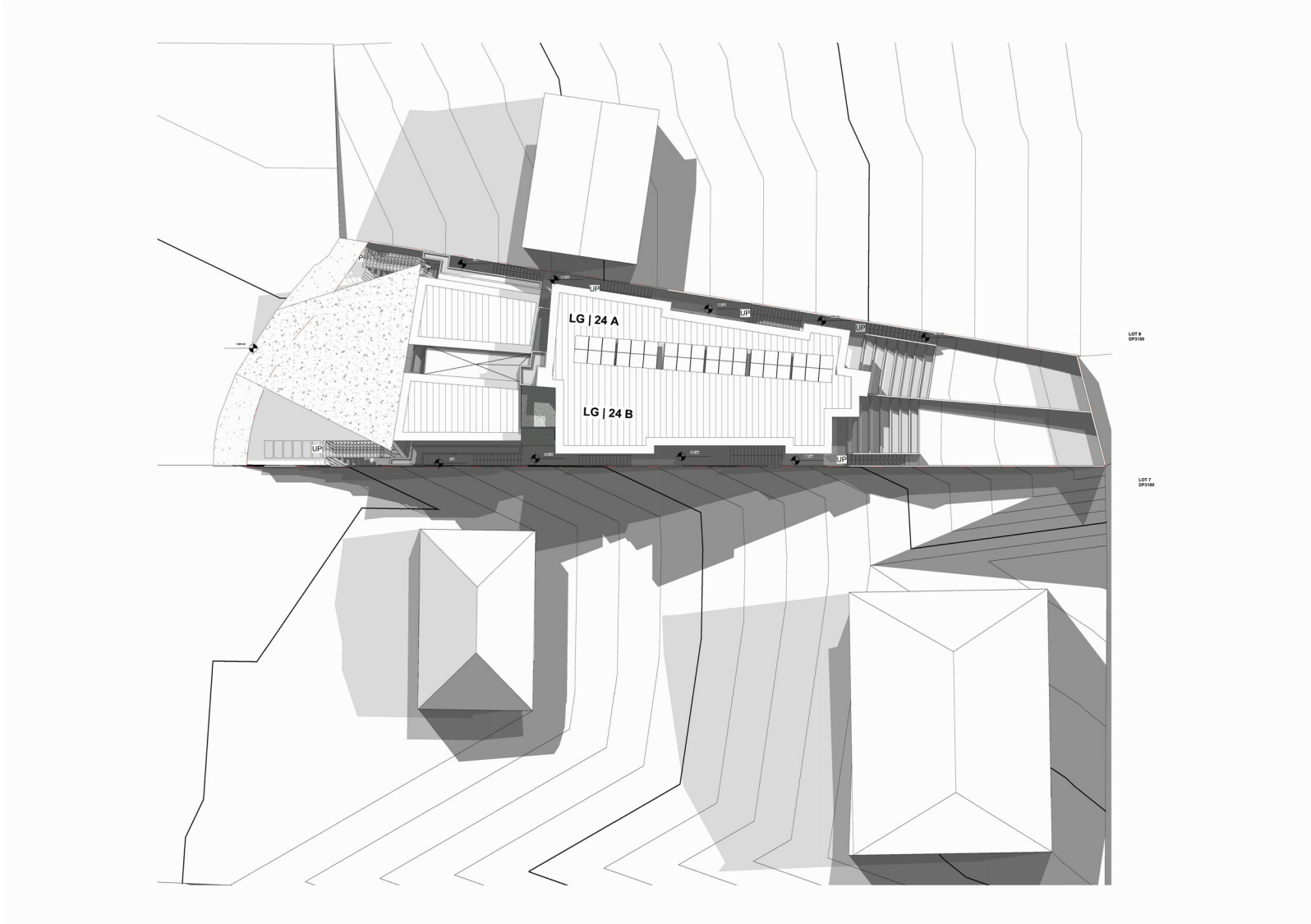
Sheet name: JUNE SHADOW DIAGRAM
 Project Status: For CDC

Drawn by: Mostafa Shams Esfandabadi
Checked by: Mirko Ghorayshi
Issue date: 04/19/22
scale:



SHADOW 21 SEPTEMBER

- SHADOW AT 9:00 am
- SHADOW AT 12:00 NOON
- SHADOW AT 3:00 pm




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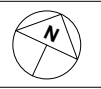
Revision schedule		
Revision number	Revision Description	Revision date

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Project Address: 24 Dandarborg Ave, Carlingford
 Project name: 24 Dandarborg Duplex Project
 Client Name: Hatf Ahankob

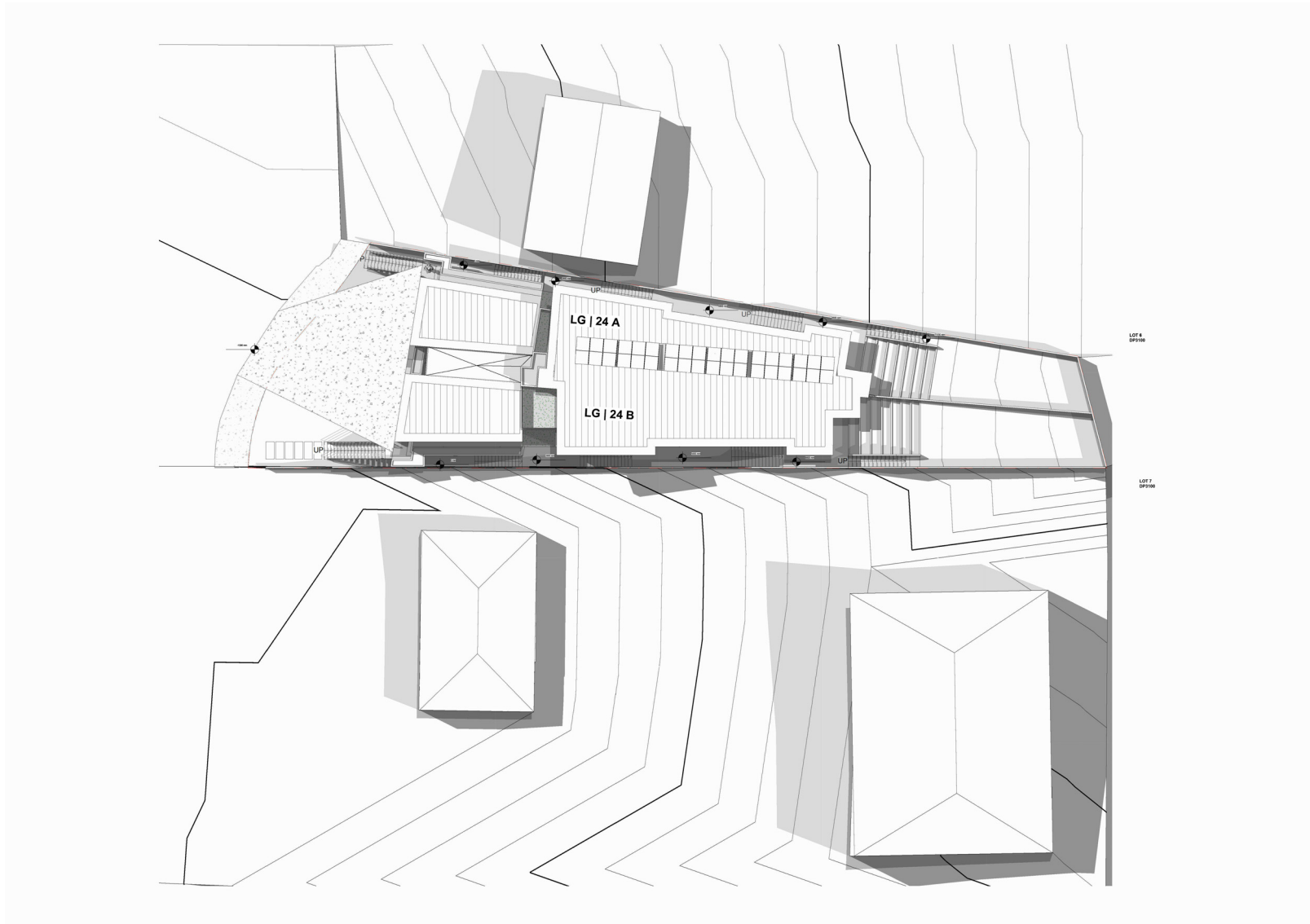
Sheet name: SEPTEMBER SHADOW DIAGRAM
 Project Status: For CDC

Drawn by: Mostafa Shams Esfandabadi
Checked by: Mirko Ghorayshi
Issue date: 04/20/22
scale:



SHADOW 21 DECEMBER

- SHADOW AT 9:00 am
- SHADOW AT 12:00 NOON
- SHADOW AT 3:00 pm




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Revision schedule		
Revision number	Revision Description	Revision date

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Project Address: 24 Dandarborg Ave, Carlingford
 Project name: 24 Dandarborg Duplex Project
 Client Name: Hatef Ahankooob

Sheet name: DECEMBER SHADOW DIAGRAM
 Project Status: For CDC

Drawn by:	Mostafa Shams Esfandabadi
Checked by:	Mirko Ghorayshi
Issue date:	04/20/22
scale:	



